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Inspection reference: Sample Small Office

Confidential Inspection Report

Any Street
Natick, MA 01760



Prepared for: Small Office

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.



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GENERAL INFORMATION

Client & Site Information:

Inspection Date & Time:

Inspection Date: 7/10/2019

Start Time: 9:30 AM

End Time: 12:00 PM.

Client:

Small Office

Any Street

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Inspection Site:

17 Erie Dr

Natick, MA 01760

Building Occupied?

No.

People Present:

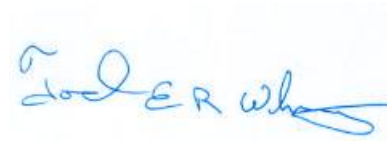
Listing agent, Selling agent, Purchaser.

Inspectors Information

Inspector

Tod E. R. Whiting.

Signature



Building Characteristics:

The Main Entry Faces

Northeast.



Left View



Right View



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Rear View



Year Built: 1959.
Building Type: Commercial.
Stories: 1
Space Below Grade: None.
Building Size (SF) 3786.

Maps

Neighborhood



Flood Zone Map

Zone X
Map: 25017C0529F
Effective: 07/07/2014.



Assessors

Map ID: 08-000001U.



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Zoning

Zone Industrial 1.



- Residential General (RG)
- Residential Multiple (RM)
- Residential-Single A (RSA)
- Residential-Single B (RSB)
- Residential-Single C (RSC)
- Highway Mixed-I (HM-I)
- Highway Mixed-II (HM-II)
- Highway Mixed-III (HM-III)
- Highway Planned Use
- Administrative and Professional (AP)
- Planned Community District (PCD)
- Downtown Mixed-Use (DM)
- Hospital (H)
- Industrial-I (InI)
- Industrial-II (InII)
- Commercial-I (CI)
- Commercial-II (CII)
- Limited Commercial (LC)

Climatic Conditions:

Weather: Clear.
 Soil Conditions: Dry.
 Outside Temperature (F): 80-90.

Utility Services:

Water Source: Public as noted on listing sheet.
 Sewage Disposal: Public as noted on listing sheet.
 Utilities Status: All utilities on.

About Rated Items

Items not found in this report are beyond the scope of this inspection and should not be considered inspected at this time. Please read the entire report for important details. Inspected items may be generally rated as follows:

Acceptable. A component receiving this rating is functioning consistently with its original purpose at the time of inspection, however it may exhibit normal wear and tear. Lack of maintenance can create conditions that require costly repairs or even replacement of the component(s) or system(s) more frequently. Maintenance, acts of God, environmental conditions, etc., may impact the remaining economic life of the system or component.

LR = "Limited Repairs" = A component receiving this rating requires immediate limited repairs or maintenance. It is important to conduct these repairs as soon as possible in order to avoid continued deterioration of the component(s) or system(s). Even deferred maintenance items should be repaired as soon as possible. Items of this nature left unattended may result in costly repairs or replacement at some future date. In many cases the extent of the damage or deterioration is greater than can be observed during this non invasive visual inspection.



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DEF = "Defective" = Abbreviated as "DEF" in the report. A component receiving this rating requires repair or replacement. This inspection and report recommends THE CLIENT have these areas reviewed and repaired by an appropriate specialty contractor familiar with the type of work which may be required to remediate, repair, or replace that system or component. In some cases it may be appropriate to have the defective system or component reviewed by an engineer or other expert. In many cases the extent of the damage or deterioration is greater than what can be observed during a noninvasive visual inspection. In many cases the extent of the damage or deterioration is greater than can be observed during this non invasive visual inspection. Further evaluation is needed by a qualified licensed contractor or specialty tradesman dealing with that item or system.

SAF = "Safety Concern" = A condition in a readily accessible, installed system or component, which is judged to be of significant risk of personal injury during normal, day to day use. The risk may be due to damage, deterioration, improper installation or a change in the accepted residential construction standard.

NP = "Not Present" = This rating indicates the component listed is not present and is not required to be present. If the component is required to be present and is not it would receive a rating of defective

NI = "Not Inspected" = The component was not inspected

NA = "Not Accessible" = The component was not accessible, Right and left as noted in the report are determined as if looking at the component from the front of the subject property, FOR THE PURPOSES OF THIS INSPECTION THE FRONT OF THE BUILDING IS THAT SIDE OVERLOOKING THE PARKING LOT. Photographs may be included in this report. Photographs, when used, are simply a tool to convey our findings and observations. Photographs are not intended to enhance those findings or diminish any finding not photographed. The client is advised to thoroughly read the complete report as all conditions reported may not be represented by a photograph. Repairs are separated into three categories

Immediate - The component requires significant repair or replacement now

Short Term - The repair should be performed within 3 years

Reserve term - While the component is functioning continually with its original purpose the client should anticipate repair or replacement within 10 years.

Payment Information:

Total Fee: 0.00.

Paid By: Check.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with the Massachusetts standard of practice, a copy of which is included in this report.

Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.



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The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

PHYSICAL SITE DESCRIPTION

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and municipal water and sewer service piping or septic systems. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Any such mention of these items is informational only and not to be construed as inspected.

Parking Lot:

<i>Rating</i>	Defective.
<i>Location</i>	The parking lot is located at the, right.
<i>Material:</i>	The parking lot is constructed of, asphalt.
<i>Observations</i>	The parking lot, has irregular surfaces, is cracked, has trip hazards are noted.
<i>Recommendation</i>	The inspector recommends, fill the cracks, seal the surface to extend the life expectancy of the driveway Consult with a qualified professional to determine the full extent of repairs needed. This component requires, immediate repair or replacement.



Walks

<i>Rating</i>	Limited repair.
<i>Location</i>	The walks are located at the, front, right.
<i>Material:</i>	The walks are constructed of: asphalt paving, concrete.
<i>Observations</i>	The walk, is cracked.
<i>Recommendation</i>	The inspector recommends fill the cracks and seal the walk surface to extend the life expectancy of the walk. This component requires, immediate repair or replacement.



Site Grading:

<i>Rating</i>	Limited repair.
<i>Site:</i>	The site is mostly level.
<i>Observations</i>	The following conditions were noted at the time of the inspection: chipmunk burrows may



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Recommendation

lead to sin holes

The inspector recommends contacting a pest control company for the control of chipmunks, This component requires, short term repair or replacement



Site Drainage

Rating

Acceptable.

Grading at Foundation

Rating

Acceptable.

Landscaping:

Rating

Defective.

Type

The landscaping consists of, trees.

Observations

The following conditions were observed at the time of the inspection
Trees are leaning at the building and should be removed
Trees are touching or overhanging the roof. Damage is possible. these trees should be trimmed



Recommendation

MBPI recommends remove overgrown trees that are leaning at the building. This component requires, short term repair or replacement.

General Comments

*FURTHER
RECOMMENDED*

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY.
The client should consider a 21E Environmental Assessment.



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ROOF SYSTEM

The roof is typically inspected from the ground using binoculars. This is because walking on a roof can cause damage to the roof surface, and walking on roofs presents an unsafe condition for the inspector. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

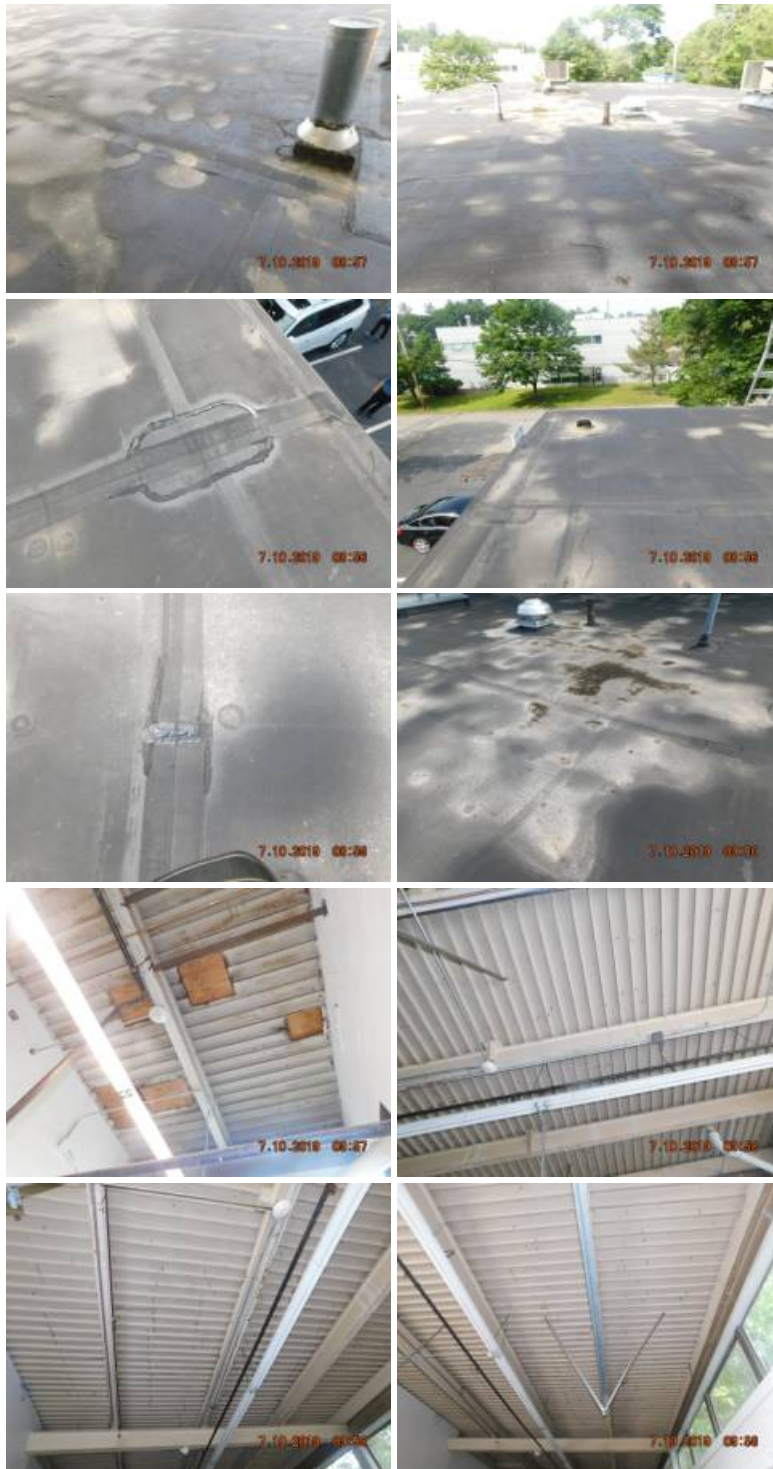
Roof:

<i>Rating</i>	Defective.
<i>Style:</i>	Flat/low pitch.
<i>Access:</i>	Walked on roof.
<i>Material :</i>	The roof is surface is constructed of: adhered single ply rubber or EPDM membrane.
<i>Observations</i>	<p>The following conditions were observed at the time of the inspection: Signs of weathering and aging are present. Regular maintenance and inspections are advised. Improper materials have been used to repair the roof. Ponding is noted on roof. Ponding water on a roof causes leaks, algae and fungi growth. If left unattended, roof ponds can lead to the collapse of a roof. The size of roof ponds increases over time because the weight of the water causes additional deflection of the structural membranes underneath. Eventually, the structure will not be able to carry the increased load and the roof collapses.</p> <p>The metal decking at the front awning is deteriorated and requires replacement. The metal roof deck is oxidized, split, damaged, patches are noted. Evidence of leakage is noted.</p> <p>I.</p>
<i>Recommendation</i>	<p>The inspector recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice Prior to closing of escrow the CLIENT should consult with roofing professional to determine the full extent of repairs or replacement, This component requires, short term repair or replacement.</p>





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Chimney

Please Note:

There are a wide variety of chimneys and interrelated components. However, there are three basic types, single-walled metal, masonry, and pre-fabricated metal ones that are commonly referred to as factory-built ones. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are commonplace. Our inspection of them conforms to industry standards, and is that of a generalist and not a specialist. However, significant areas of chimney flues cannot be adequately viewed during a field inspection. Therefore, because our inspection of chimneys is limited to areas easily viewed and does not include the use of specialized equipment, we will not guarantee their integrity or drafting ability and recommend that they be more thoroughly evaluated before the close of escrow.

Chimneys:

Rating

Acceptable.

Location:

This chimney is located at the: right side, rear.

Material

The chimney exterior is constructed of, metal materials.

Flashings:

Rating

Defective.

Step/Wall Flashing

The following conditions were observed at the time of the inspection: the wall flashing at the front awning is improperly sealed, MBPI recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice



Plumbing vents

Rating

Limited repair.

Material

The plumbing vents are constructed of the following material : metal.

Observations

The following conditions were observed at the time of the inspection: The flashing is sealed with a black asphalt like sealant. This is indicative of potential leakage.

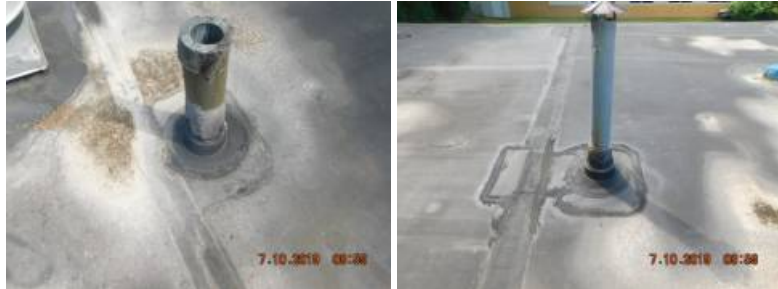
Recommendation

MBPI recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice



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This component requires, short term repair or replacement.



Exposed Roof Drainage:

Rating

Limited repair.

Location

there is a roof drainage system located on the roof. The drains are located at the, right side.

Observations

The following conditions were observed at the time of the inspection:
The roof drains are clogged with debris. This is causing water to pond on the roof which could lead to leaks and/or the eventual collapse of roof

Recommendation

MBPI recommends clean the drains, This component requires, immediate repair or replacement.



General Comments

*FURTHER
RECOMMENDED*

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS, INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY.



EXTERIOR - FOUNDATION

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

Exterior Wall Cladding:

<i>Rating</i>	Limited repair.
<i>Materials:</i>	The exterior siding is constructed of: wood panels and masonry.
<i>Observations</i>	The following conditions were observed at the time of the inspection: the wood framing at the panels is deteriorated. Improper material has been used to fill cracks in the mortar
<i>Recommendation</i>	MBPI recommends: Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice This component requires, short term repair or replacement.



Steps and Landings

Rating Acceptable.

Loading Dock

Rating Limited repair.

Location The deck is located at the: right side.

Type the floor is constructed of: poured concrete.



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Observations

The following conditions were observed at the time of the inspection: The edge of the floor is cracked

Recommendation

MBPI recommends
 Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
 This component requires, short term repair or replacement.



Overhead Doors:

Rating

Defective.

Material :

The overhead door is constructed of, metal panels, Door operation is manual.

Observations:

The following conditions were observed at the time of the inspection The door does not open fully

Recommendation

The inspector recommends repair or replace as needed, This component requires, short term repair or replacement.



Trim

Rating

Limited repair.

Type

The exposed trim consists of: window trim, door trim, The exposed trim is constructed of: metal.

Observations

The following conditions were observed at the time of the inspection: improperly sealed, the sealant is cracked.

Recommendation

MBPI recommends
 Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
 This component requires, short term repair or replacement.



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Windows

Rating

Defective.

Material

The windows are, aluminum frame, awning, fixed pane, single glazed, with trim wrapped in metal.

Observations

The following conditions were observed at the time of the inspection: the sill and/or trim is cracked, improperly sealed, glass is broken, The windows do not conform to current standards of energy efficiency, This component is fully depreciated. The item inspected is no longer under the manufacturers warranty and it is suggested that it is reaching the end of its serviceable life, has no dollar or salvage value and replacement should be anticipated

Recommendation

MBPI recommends

Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
seal windows and trim at wall joint
Upgrade with energy efficient windows.





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Exterior Doors

Rating Acceptable.

Foundation:

Rating Limited repair.

Type and Materials: The structure is supported by, a permanent foundation, The foundation is constructed of: Poured in place slab concrete, 8 inches or more thick.

Observations The following conditions were observed at the foundation at the time of the inspection: the cracks are vertical, cracks are noted.

Recommendation MBPI recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice seal all cracks to prevent water penetration into basement or crawl space, This component requires, short term repair or replacement.



Exterior Outlets:

Rating Defective.

Observations: The following conditions were observed at the time of the inspection: No outlets are present at the front, rear.

Recommendation The inspector recommends install GFCI protected outlets, This component requires, short term repair or replacement.

Exterior Lighting:

Rating Acceptable, Not accessible.

Exterior Wiring:

Rating Defective.

Observations: The following conditions were observed at the time of the inspection The conduit is oxidized

Recommendation The inspector recommends Repair or replace as needed. This component requires, short term repair or replacement.





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General Comments

*FURTHER
RECOMMENDED*

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY



BASEMENT - CRAWLSPACE - STRUCTURE

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. The inspector does not enter any area with headroom under 48 inches.

TYPE

Below Grade Area There is no below grade area.

Foundation:

Rating Acceptable, Not accessible.

Material: The foundation is constructed of, poured concrete.

Columns, Posts, Piers

Rating Acceptable, Not accessible.

Material The columns, posts & piers are constructed of Steel.

Beams and Girders

Rating Acceptable, Not accessible.

Material The beams/girders are constructed of, steel.

Framing:

Rating Acceptable.

Material The wall structure is constructed of steel columns and concrete block.

Ceiling/Roof Framing:

Rating Acceptable, Not accessible.

Material The ceiling/roof joists are constructed of steel bar joists.

Roof Decking

Rating Defective.

Material The visible portions of the sub-floor are constructed of corrugated metal panels.

Observations The following conditions were observed at the time of the inspection: water damage the panels are deteriorated and oxidized. Portions of the panels are split. Patches opted in the panels. Evidence of roof leaks noted.

Recommendation MBPI recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice, prior to closing the CLIENT should consult with qualified professional to determine the full extent of repairs, This component requires, immediate repair or replacement.





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Insulation

Rating

Observations

Recommendation

Defective.

The following conditions were observed at the time of the inspection The insulation between conditioned and unconditioned spaces is, not present

MBPI recommends, install insulation between conditioned and unconditioned spaces, This component requires, short term repair or replacement.

General Comments

*FURTHER
RECOMMENDED*

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY.



ELECTRICAL SYSTEM

We are not electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician.

Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters and AFCI interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

Amps/Volts/Overcurrent Devices

Observations

The main electric service to the building is rated for,
Phase: 3
Amps: 600
Volts: 240
Over current Devices: circuit breakers.
The electric service appears adequate to the current use.

Service Entrance Cable:

Rating

Acceptable.

Location:

The service entrance cable comes in from the street, overhead, and is located at the left.

Material:

The service entrance cable is aluminum.

Grounding

Is Electrical System Attached to Both the City and Building Side of the Water Piping and/or a Ground Rod? The electrical system is attached to both the city and building side of the plumbing system, The electrical system is attached to a ground rod.

Is The Water Piping Bonded to the Electrical Service Within the First Five Feet of its Entry Into The Building YES.

Main Service Panels:

Rating

Acceptable.

Location:

The main panel is located in the, Utility Area.

Distribution Panels:

Rating

Defective.

Location:

The sub panel is located in the, Utility Area.

Observations

The following conditions were observed at the time of the inspection: There are 2 distribution panels in the utility area, 1 is newer and in acceptable condition. The other distribution panel is outdated by today's standards. Upgrade should be considered. Repair this component. All repairs when implemented by the buyer, seller, and/or homeowner shall comply with applicable requirements of the governing codes and sound construction practice

Recommendation

Prior to closing of escrow the client should update the older distribution panel



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Over Current Devices

Rating

Acceptable.

Type

The over current devices are, Circuit breakers.

Branch Wiring

Rating

Acceptable.

Type

The visible branch wiring consists of, Copper, Flexible conduit, Rigid conduit.

Wiring to Central Heating

Rating

Acceptable.

Wiring to Central Cooling

Rating

Limited repair.

Observations

The following conditions were observed at the time of the inspection: there is no outlet in close proximity to the central air conditioning compressor at the exterior of the subject.

Recommendation

MBPI recommends Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice

Switches:

Rating

Acceptable.

Lighting:

Rating

Acceptable.

Electrical Outlets:

Rating

Defective, Safety Hazard.

Type

The outlets consist of, three wire ground.

Observations

The following conditions were observed at the time of the inspection: The outlets in the loading area are not GFCI protected Some outlets did not function.

Recommendation

MBPI recommends Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation at exterior, garage, bath rooms & kitchen outlets. This component requires, immediate repair or replacement.





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Accessibility

Accessibility

The components ins this section were not fully accessible due to, finished walls, finished ceilings, furniture.

General Comments

ELECTRICIAN RECOMMENDED

CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS, INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY.



PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs, and not included in this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection, nor can the presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume. Plumbing components such as gas pipes, potable water pipes, drain and vent pipes, and shut-off valves are not generally tested if not in daily use. The inspector cannot state the effectiveness or operation of any anti-siphon devices, automatic safety controls, water conditioning equipment, fire and lawn sprinkler systems, on-site water quality and quantity, on-site waste disposal systems, foundation irrigation systems, spa and swimming pool equipment, solar water heating equipment, or observe the system for proper sizing, design, or use of materials.

The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. Therefore a regulator is recommended whenever street pressure exceeds 80 psi. However, regardless of pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress washers and diaphragms within various components.

Waste and drainpipes pipe condition is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. Older homes with galvanized or cast iron supply or waste lines can be obstructed and barely working during an inspection but later fail under heavy use. If the water is turned off or not used for periods of time (such as a vacant house waiting for closing), rust or deposits within the piping can further clog the piping system. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains at the time of inspection. Nonetheless, blockages will still occur in the life of any system.

Main Line:

<i>Rating</i>	Limited repair.
<i>Type</i>	The potable water for this property is a, public system as noted in the subject listing, the electrical system is attached to both the city and dwelling side of the water piping, is bonded to the electrical system within 5 feet of its entry into the basement.
<i>Location:</i>	The water meter is located at the, water utility room.
<i>Material:</i>	copper.
<i>Functional Flow</i>	The functional flow appears adequate.
<i>Observations</i>	Older gate valves noted. These valves may leak when operated after years of no use. Corrosion is noted, No active leakage is noted at this time. Monitor in the future.
<i>Recommendations</i>	MBPI recommends, Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice the client consult with a licensed electrician to determine the full extent of repairs need prior to closing escrow This component requires, short term repair or replacement.



Supply Lines/Valves/Fittings:

<i>Rating</i>	Limited repair Not accessible.
<i>Material:</i>	Copper.



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Observations
Recommendations

the supply pipes are not insulated, Corrosion is noted at pipes valves and fittings. MBPI recommends, Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice insulate the pipes, This component requires, short term repair or replacement.



Waste/Drain/Vent Pipes:

Rating
Material:
Functional drainage

Acceptable, Not accessible.
Cast Iron, PVC.
adequate.

Water Heater: Unit 1

Rating
Power Source:
Capacity:
Location:

Acceptable.
Gas.
40 Gallons.
Utility room.

Fire Suppression System

Observations
Recommendations

No fire suppression system is present. MBPI recommends, the installation of a fire suppression system, This component requires, short term repair or replacement.

Cross Connections

Rating

Acceptable.

Kitchen Sinks:

Rating

Acceptable.

Bathroom Sinks

Rating
Observations

Limited repair. The sinks are missing insulated covers at the drains and valves. These covers are required in handicap accessible bathrooms.



Toilets

Rating

Acceptable.



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Tub/Shower Fixtures

Rating

Defective.

Observations

The water supply was shut down at the time of the inspection and the inspector was unable to operate this component.

Recommendations

The inspector recommends the CLIENT have the SELLER or The SELLERS REPRESENTATIVE demonstrate the functionality of these components. This component requires, immediate repair or replacement.



Tub/Shower/Bathroom Walls Ceilings and Floors

Rating

Acceptable.

Bathroom Ventilation

Rating

Acceptable.

Utility Room Sink:

Rating

Acceptable.

Accessibility

Accessibility

The components in this section were not fully accessible due to, finished walls, finished ceilings, floor coverings, stored items and personal possessions.

General Comments

*FURTHER
RECOMMENDED*

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY

All repairs when implemented by the buyer, seller, and/or homeowner shall comply with the applicable requirements of the governing codes and sound construction practice. Consult with qualified professions to determine full extent of repairs and cost. All estimates for repair should be secured prior to closing of escrow.



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HEATING VENTILATION AIR CONDITIONING

The inspector can only open readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit.

This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. We perform a conscientious evaluation of the system, but we are not specialists.

Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

Heating System: Unit 1

Rating

Defective.

Type

The heating system consists of 2 packaged units with furnace, condenser, evaporator and air handler in a single package and a ceiling mounted space heater in the loading area.

Location

The heating system is located in the, On the roof. there are 2 roof top units as well as 1 ceiling mounted unit in the loading area.

Approx. Age:

The packaged units are approximately, 15 - 20 years in age, The typical serviceable life for a packaged unit is 18 - 20 years.

Observations

The following conditions were observed at the time of the inspection:

Corrosion is noted, The cabinets are dirty and lack recent servicing. Suggest cleaning/servicing of the heating system, This component is fully depreciated. The item inspected is no longer under the manufacturers warranty and it is suggested that it is reaching the end of its serviceable life, has no dollar or salvage value and replacement should be anticipated

Recommendation

The inspector recommends

The heating system requires service NOW prior to closing of escrow, The client should anticipate the need to replace the heating system in the near future, This component requires, short term repair or replacement.





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Space Heaters

Rating Acceptable.

Burners / Heat Exchangers:

Rating Acceptable, Not accessible.

Observations This component is fully depreciated. The item inspected is no longer under the manufacturers warranty and it is suggested that it is reaching the end of its serviceable life, has no dollar or salvage value and replacement should be anticipated

Recommendation The inspector recommends the client should anticipate the need to replace the heating system in the near future.

Compressor/Condenser: System 1

Rating Acceptable.

Observations The following conditions were observed at the time of the inspection:
This component is fully depreciated. The item inspected is no longer under the manufacturers warranty and it is suggested that it is reaching the end of its serviceable life, has no dollar or salvage value and replacement should be anticipated

Recommendations MBPI recommends. The inspector recommends the client should anticipate the need to replace the cooling system in the near future.

Cooling: Left Side

Rating Defective.

Observations The following conditions were observed at the time of the inspection: the cooling system for the left side failed to provide cooling to the left side of the building
This component is fully depreciated. The item inspected is no longer under the manufacturers warranty and it is suggested that it is reaching the end of its serviceable life, has no dollar or salvage value and replacement should be anticipated

Recommendations The inspector recommends the client should anticipate the need to replace the cooling system in the near future.

Automatic Safety Controls: System 1

Rating Acceptable.

Distribution: System 1

Rating Acceptable.

Fuel System:

Rating Acceptable.

Type: Natural gas.

Normal Operating Controls:

Rating Acceptable.

Accessibility

Accessibility The components in this section were not fully accessible due to, finished walls, finished ceilings, stored items and personal possessions.



INTERIOR ROOMS

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to lead, mold, allergens, odors from cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

Egress

Rating The rooms on this level have adequate egress.

Doors

Rating Limited repair.

Observations The following conditions were observed at the time of the inspection:
Doors rub/stick/won't latch.

Recommendations MBPI recommends, Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
This component requires, short term repair or replacement.



Windows

Rating Defective.

Observations The following conditions were observed at the time of the inspection:
Locking hardware needs repair or replacement, There is at least one broken window pane.

Recommendations MBPI recommends, Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
This component requires, placement of the reserve term repair list.





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Walls

Rating Acceptable.

Ceilings

Rating Acceptable.

Floors

Rating Defective.

Observations The following conditions were observed at the time of the inspection: The floor covering is, worn, cracked. 9x9 tiles may or may not contain asbestos.

Recommendations MBPI recommends, Repair this component. All repairs when implemented by the buyer, seller, and/or property owner shall comply with applicable requirements of the governing codes and sound construction practice
This component requires, immediate repair or replacement.



Accessibility

Accessibility The components in this section were not fully accessible due to, furniture.

General Comments

FURTHER RECOMMENDED

REVIEW CONDITIONS WHICH NEED TO BE ADDRESSED HAVE BEEN OBSERVED IN THIS SYSTEM. METRO BOSTON PROPERTY INSPECTIONS INC. STRONGLY RECOMMENDS ALL DEFECTS IN THIS SECTION BE REVIEWED BY AN APPROPRIATELY LICENSED PROFESSIONAL TO DETERMINE THE FULL EXTENT OF REPAIR OR REPLACEMENT NECESSARY, All repairs when implemented by the buyer, seller, and/or homeowner shall comply with the applicable requirements of the governing codes and sound construction practice. Consult with qualified professions to determine full extent of repairs and cost. All estimates for repair should be secured prior to closing of escrow.

Additional Comments The 9x9 tiles and mastic should be tested for asbestos.

Material:

Doors The doors are, wood.

Floors The floor covering material is carpet. ceramic or glazed tile. 9x9 composition tiles.

Type and Material:

Windows The windows are metal, awning, fixed panel.

ADDITIONAL INFORMATION

Additional Information

When Things Go Wrong

When Things Go Wrong:

There may come a time when you discover something wrong with the house you purchased, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or Concealed Problems:

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No Clues:

These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We Always Miss Some Minor Things:

Some say we are inconsistent because our reports identify some minor problems, but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the **\$200 problems**; it is to find the **\$2,000 problems**. These are the things that affect people's decisions to purchase.

Contractors Advice:

A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

Last Man In Theory:

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the last man in theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most Recent Advice Is Best:

There is more to the last man in theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice.

As home inspectors, we unfortunately find ourselves in the position of first man in and consequently it is our advice that is often disbelieved.

Why Didn't We See It?

Contractors often say, I can't believe you had this house inspected, and the inspector did not find this problem. There are several reasons for these **apparent** oversights:

Most Contractors Have No Clue What Inside or Outside The Scope Of A Standard Home Inspection: All of our inspections are conducted in accordance with the Standards of Practice of The American Society of Home Inspectors. The Standards of Practice specifically state what included and excluded from the standard home



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inspection. Most contractors have no clue this document exists and many of them have a tendency to "blame the Home Inspector" for any issue found, regardless of whether the issue is within the "scope" of the standard home inspection.

Conditions During The Inspection: It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. Its impossible for contractors to know what the circumstances were when the inspection was performed.

The Wisdom Of Hindsight: When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 feet of water on the floor. Predicting the problem is a different story.

A Long Look: If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, wed find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.

Were Generalists: We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.

An Invasive Look: Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don not perform invasive or destructive tests.

Not Insurance: In conclusion, a home inspection is designed to better your odds of not purchasing a "money pit". It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.



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USEFUL LINKS

[Board of Registration of Home Inspectors](#)

[Website](#)

<http://www.mass.gov/ocabr/licensee/dpl-boards/hi/>

Radon

Home Buyers and Sellers Guide to Radon [<http://www.epa.gov/radon/pubs/hmbyguid.html>](http://www.epa.gov/radon/pubs/hmbyguid.html)

[Consumers Guide to Radon Reduction](http://www.epa.gov/radon/pubs/consguid.html) <http://www.epa.gov/radon/pubs/consguid.html>

Mold

EPA Mold Moisture and Your Home [<http://www.epa.gov/mold/moldguide.html>](http://www.epa.gov/mold/moldguide.html)

Asbestos

EPA on Asbestos [<http://www2.epa.gov/asbestos/protect-your-family>](http://www2.epa.gov/asbestos/protect-your-family)



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Rating:

Rating

Fire Suppression System

Defective, Safety Hazard.

Tier II Abbreviated Accessibility Survey

	Item	Yes	No	N/A	Comments
A. Building History					
1.	Has an ADA survey previously been completed for this property?				
2.	Have any ADA improvements been made for this property?				
3.	Does a barrier removal plan exist for the property?				
4.	Has the barrier removal plan been reviewed by an arm's length third party such as an engineering firm, architectural firm, building department or other agency?				
5.	Has building ownership or building management reported receiving any ADA related complaints that have not been resolved?				
B. Parking					
1.	Are there sufficient accessible parking spaces with respect to the total number of reported spaces?				
2.	Are there sufficient van accessible spaces available?				
3.	Are accessible spaces marked with the International Symbol of Accessibility? Are there signs reading "Van Accessible" at van spaces?				
4.	Is there at least 1 accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?				
5.	Do curbs on the accessible route have depressed ramped curb cuts at drives, paths and drop offs?				
6.	Does signage exist directing you to accessible parking and an accessible entrance?				
C. Ramps					
1.	If there is a ramp from parking to an accessible building entrance does it meet slope requirements? (1:12 or less)?				
2.	Are ramps longer than 6 ft complete with railings on both sides?				
3.	Is the width between railings at least 36 in.?				
4.	Is there a level landing for every 30 ft. of ramp, at the top and at the bottom of ramps and switch backs?				
D. Entrances/Exits					
1.	Is the main entrance doorway at least 32 in. wide?				
2.	If the main entrance is inaccessible are there alternate accessible entrances?				
3.	Can the alternate entrance be used independently				
4.	Is the door hardware easy to operate (lever/push bar, no twisting required, and not higher than 48 in. above floor)?				There is no automatic door opener
5.	Are main entry doors other than revolving doors available?				
6.	If there are 2 main doors in a series, is the minimum space between the doors 48 in. plus the width of any door swinging into the space?				

Tier II Abbreviated Accessibility Survey

	Item	Yes	No	N/A	Comments
E. Paths of travel					
1.	Is the main path of travel free of obstruction and wide enough for a wheelchair (at least 36 in. wide)?				There is no readily accessible pathway in the warehouse area
2.	Does a visual scan of the main path of travel reveal any obstacles (phones, fountains, etc.) that protrude more than 4 in. into walkways or corridors?				Stored items in the warehouse
3.	Is at least 1 wheelchair accessible public telephone available?				
4.	Are wheelchair accessible facilities (toilets, exits, etc.) identified with signage?				
5.	Is there a path of travel that does not require the use of stairs??				The property is one level
F. Elevators					
1.	Do the call buttons have visual signals to indicate when a call is registered and answered?				
2.	Is the up button above the down button?				
3.	Are there visual and audible signals inside cars indicating floor change?				
4.	Are there standard raised and Braille markings on both jambs of each hoist way entrance?				
5.	Do elevator lobbies have visual and audible indicators of car arrival?				
6.	Do elevators have a reopening device that will stop and reopen a car door is an object or person obstructs the door?				
7.	Are elevator controls low enough to be reached from a wheelchair (48 in. front approach/54 in. side approach)?				
8.	Are elevator control buttons designated by Braille and raised standard alphabet characters (mounted to the left of the button)?				
9.	If a two-way emergency communication system is provided within the elevator cab, is it usable without voice communication?				
C. Toilet Rooms					
1.	Are common area public toilet rooms located on an accessible route?				
2.	Are door handles push/pull or lever types?				Lever
3.	Are there audible and visual fire alarm devices in the toilet rooms				
4.	Are corridor access doors wheelchair accessible (at least 32 in. wide)?				
5.	Are public toilet rooms large enough to accommodate a wheelchair turnaround (60 in. turning diameter)?				
6.	In unisex toilet rooms are there safety alarms with pull cords?				
7.	Are toilet stall doors at least 32 in. wide?				
8.	Are grab bars provide in the toilet stalls				
9.	Are sinks provided with at least 29 inch clearance?				
10.	Are sink handles operable with 1 hand without grasping, pinching or twisting				
11.	Are exposed pipes under sinks insulated against contact?				
D. Guestrooms					
1.	Are there sufficient reported accessible sleeping rooms with respect to the total number of reported guestrooms?				
2.	Are there sufficient reported accessible sleeping rooms with roll-in showers with respect to the total number of reported guestrooms?				